

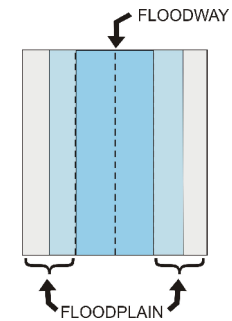
Printed: 2/7/2010

DOCKET #: W1887

PROPOSED ZONING:
Final Development Plan

EXISTING ZONING:
HB-S

PETITIONER:
Robinhood Pediatrics LLC
for property owned by Same



SCALE: 1" represents 500'

STAFF: Roberts

GMA: 3

ACRES: 2.67

NEAREST BLDG: 50' north

MAP(S): 612862



**CITY-COUNTY PLANNING BOARD DRAFT
STAFF REPORT**

PETITION INFORMATION			
Docket #	W-1887		
Staff	Gary Roberts, Jr. AICP		
Petitioner(s)	Robinhood Pediatrics, LLC		
Owner(s)	Same		
Subject Property	Portion of PIN #6816-33-1743		
Address	1350 Whitaker Ridge Road is the new address assigned to the site. It is adjacent to 1955 Peace Haven Road.		
Type of Request	Final Development Plan for HB-S zoned property for the use of offices.		
Proposal	Final Development Plan for property zoned HB-S TWO PHASE The approved uses for the property are: <ul style="list-style-type: none"> • Shopping Center uses with the exception of: Car Wash; Restaurant (with drive-through service); Convenience Store; and Motor Vehicle Repair and Maintenance 		
GENERAL SITE INFORMATION			
Location	West side of Whitaker Ridge Drive, north of Robinhood Road		
Jurisdiction	City of Winston-Salem		
Ward(s)	Northwest		
Site Acreage	± 2.67 acres		
Current Land Use	Site is currently undeveloped.		
Surrounding Property Zoning and Use	Direction	Zoning District	Use
	North	HB-S	Whitaker Square shopping center
	East	RS-9	Undeveloped
	South	HB-S	Undeveloped
	West	HB-S	Commercial uses
Applicable Rezoning Consideration from Chapter B, Article VI, Section 6-2.1(R)	(R)(2) - Is/are the use(s) permitted under the proposed classification/request compatible with uses permitted on other properties in the vicinity?		
	Yes, the proposed office use is compatible with the adjacent commercial uses.		
Physical Characteristics	The site has been predominately been cleared and graded and has a gentle slope downward to the south.		
Proximity to Water and Sewer	Public water and sewer are available.		
Stormwater/ Drainage	A stormwater study was included in the Phase One approval and a stormwater pond for the entire site is located approximately 350' south of the subject property.		
Watershed and Overlay Districts	The site is not within a water supply watershed.		

Analysis of General Site Information	The site appears to possess no constraints and to be suitable for the proposed improvements.			
SITE ACCESS AND TRANSPORTATION INFORMATION				
Street Name	Classification	Frontage	ADT Count	Capacity/LOS D
Whitaker Ridge Drive	Collector Street	420'	NA	NA
Proposed Access Point(s)	Single driveway onto Whitaker Ridge Drive. A secondary, internal connection is also proposed to the adjacent Whitaker Square shopping center.			
Trip Generation - Existing/Proposed	<p><u>Existing Zoning: HB-S TWO PHASE</u> No trip rates available as no site plan is associated with the first phase.</p> <p><u>Proposed Zoning: HB-S Final Development Plan</u> 17,285 / 1,000 x 11.01 (General Office Building Trip Rate) = 190 Trips per Day</p>			
Sidewalks	The plan includes a lateral sidewalk connection to the existing sidewalk along Whitaker Ridge Road.			
Transit	Route 21 along Robinhood Road			
Connectivity	The site plan includes an internal connection to the adjacent shopping center as well as a stub connection to an undeveloped parcel to the south.			
Traffic Impact Study (TIS)	No TIS is required.			
Analysis of Site Access and Transportation Information	Substantial roadway improvements were made to Robinhood Road, Peace Haven Road and Whitaker Ridge Drive during Phase One of the 29.97 acre Whitaker Property rezoning. The current request includes a new driveway onto Whitaker Ridge Drive and a lateral sidewalk connection to the existing sidewalk along said road. WSDOT staff recommends a realignment of a sidewalk along an internal drive that would connect to the adjacent shopping center. The revised site plan includes this realignment.			
CONFORMITY TO PLANS AND PLANNING ISSUES				
Legacy GMA	Suburban Neighborhoods, GMA 3			
Relevant Legacy Recommendations	<ul style="list-style-type: none"> Increased infill development could bring new opportunity and improved quality of life for residents within the MSA, especially for neighborhoods within the city. Increased tax base, property values, jobs closer to home and increased investment and amenities in these neighborhoods are some of the potential benefits. (p. 38) Concentrate economic development activity in locations identified in the Legacy development guide including Winston-Salem's Downtown, Activity Centers, and urbanized areas with established infrastructure. (p. 77) 			
Relevant Area Plan(s)	<i>Robinhood Road Area Plan, 1986</i>			

Area Plan Recommendations	<ul style="list-style-type: none"> Mixed use development is recommended for subject property and the entire Phase One and Phase Two portions of W-1887. 					
Applicable Rezoning Consideration from Chapter B, Article VI, Section 6-2.1(R)	(R)(3) - Have changing conditions substantially affected the area in the petition?					
	No					
	(R)(4) - Is the requested action in conformance with Legacy?					
	Yes					
Analysis of Conformity to Plans and Planning Issues	The subject Final Development Plan is for a 17,285 office building on property zoned HB-S. The Phase One approval included various conditions which are applicable to the subject property and other Phase Two out parcels. These include, architectural standards, lighting, signage and a 15' bufferyard along Whitaker Ridge Drive. The proposed site plan and conditions are consistent with these standards.					
RELEVANT ZONING HISTORIES						
Case	Request	Decision & Date	Direction from Site	Acreage	Recommendation	
					Staff	CCPB
W-1887	R-4 to B3-S (HB-S)	Approved 4-4-94	Included current site	29.97	Approval	Approval
SITE PLAN COMPLIANCE WITH UDO REQUIREMENTS						
Building Square Footage	Square Footage		Placement on Site			
	17,285		Central portion			
Parking	Required	Proposed		Layout		
	58 spaces	101 spaces		90° in front of and to the side of the building		
Building Height	Maximum			Proposed		
	60'			27'		
Impervious Coverage	Maximum			Proposed		
	85%			53.63%		
UDO Sections Relevant to Subject Request	<ul style="list-style-type: none"> Chapter B, Article II, Section 2-1.3 (I) HB District 					
Complies with Chapter B, Article VII, Section 7-5.3	(A) Legacy policies:		Yes			
	(B) Environmental Ord.		NA			
	(C) Subdivision Regulations		NA			
Analysis of Site Plan Compliance with UDO Requirements	The revised site plan complies with the requirements of the UDO.					

CONCLUSIONS TO ASSIST WITH RECOMMENDATION	
Positive Aspects of Proposal	Negative Aspects of Proposal
<p>The request will allow additional development and investment in the area.</p> <p>Request is consistent with the previously approved Phase Two conditions.</p>	
SITE-SPECIFIC RECOMMENDED CONDITIONS OF APPROVAL	
<p>The following proposed conditions are from interdepartmental review comments and are proposed in order to meet codes or established standards, or to reduce negative off-site impacts.</p> <ul style="list-style-type: none"> • <u>PRIOR TO THE ISSUANCE OF GRADING PERMITS:</u> <ol style="list-style-type: none"> a. Developer shall obtain a driveway permit from the City of Winston-Salem Public Works Department. b. Developer shall have a stormwater management study submitted for review by the Public Works Department of the City of Winston-Salem. If required, an engineered stormwater management plan shall be submitted and approved by the Public Works Department. Relocation or installation of any stormwater treatment device into any buffer areas, vegetation designated to remain, or close proximity to adjacent residentially zoned land shall require a Staff Change approval at minimum, and may require a Site Plan Amendment. c. Developer shall cordon off and maintain, as shown on the site plan, the 15' bufferyard along Whitaker Ridge Drive as required under the Phase One approval. • <u>PRIOR TO THE ISSUANCE OF BUILDING PERMITS:</u> <ol style="list-style-type: none"> a. The proposed building shall be constructed in substantial conformance with the submitted elevations labeled "Exhibit A" as verified by Planning staff. b. Developer shall record a Summary Plat to include the new southern property line and access easements. c. An engineered lighting plan shall be submitted to Inspections for the proposed lighting demonstrating the use of full-cut off fixtures, light height of 30' or less and no more than 0.5 foot-candles at the property line • <u>PRIOR TO THE ISSUANCE OF OCCUPANCY PERMITS:</u> <ol style="list-style-type: none"> a. All required improvements of the City of Winston-Salem driveway permit shall be completed. b. Any damage to City maintained streets, sidewalk, or curb shall be replaced or repaired to the requirements of the Public Works Department. c. Lighting shall be installed per approved lighting plan and certified by an engineer. • <u>OTHER REQUIREMENTS:</u> <ol style="list-style-type: none"> a. Any freestanding signage shall be limited to one monument sign with a maximum height of six (6) feet and a maximum copy area of thirty-six (36) square feet. 	

STAFF RECOMMENDATION: Approval

NOTE: These are **staff comments** only; final recommendations on projects are made by the City-County Planning Board, with final decisions being made by the appropriate Elected Body, who may approve, deny, table or request modification for any project. **THE APPLICANT OR REPRESENTATIVE IS STRONGLY ENCOURAGED TO ATTEND THE PUBLIC HEARINGS WHERE THE CASE WILL BE CONSIDERED BY THE PLANNING BOARD AND THE ELECTED BODY.**

PUBLIC HEARING

FOR: None

AGAINST: None

WORK SESSION

MOTION: Paul Mullican moved approval and certified that the Final Development Plan meets all code requirements and recommends staff conditions.

SECOND: Lynne Mitchell

VOTE:

FOR: Arnold King, Arthur King, Clarence Lambe, Lynne Mitchell, Paul Mullican, Brenda Smith

AGAINST: None

EXCUSED: None

A. Paul Norby, FAICP
Director of Planning

EXISTING STORM WATER STRUCTURES		EXISTING SANITARY STRUCTURES	
EX. CURB INLET #1 W/ GRATE THROAT: 97.50 INV: 86.50	EX. CURB INLET #5 W/ GRATE THROAT: 96.23 INV: 81.48	EX. SAN. MH. #1 RIM: 94.65 INV: 87.20	EX. SAN. MH. #6 RIM: 89.53 INV: 81.43
EX. C.B. #2 GRATE INLET TOP: 94.65 INV: 86.07	EX. C.B. #6 GRATE INLET TOP: 93.73 INV: 77.28	EX. SAN. MH. #2 RIM: 95.25 INV: 87.52	EX. SAN. MH. #7 RIM: 98.35 INV: 91.11
EX. C.B. #3 GRATE INLET TOP: 92.21 INV: 84.61	EX. CURB INLET #7 W/ GRATE THROAT: 95.13 INV: 89.78	EX. SAN. MH. #3 RIM: 96.28 INV: 82.80	EX. SAN. MH. #8 RIM: 84.27 INV: 75.97
EX. CURB INLET #4 W/ GRATE THROAT: 96.13 INV: 81.33	EX. CURB INLET #8 W/ GRATE THROAT: 89.11 INV: 82.80	EX. SAN. MH. #4 RIM: 97.20 INV: 82.80	EX. SAN. MH. #5 RIM: 98.10 INV: 82.80

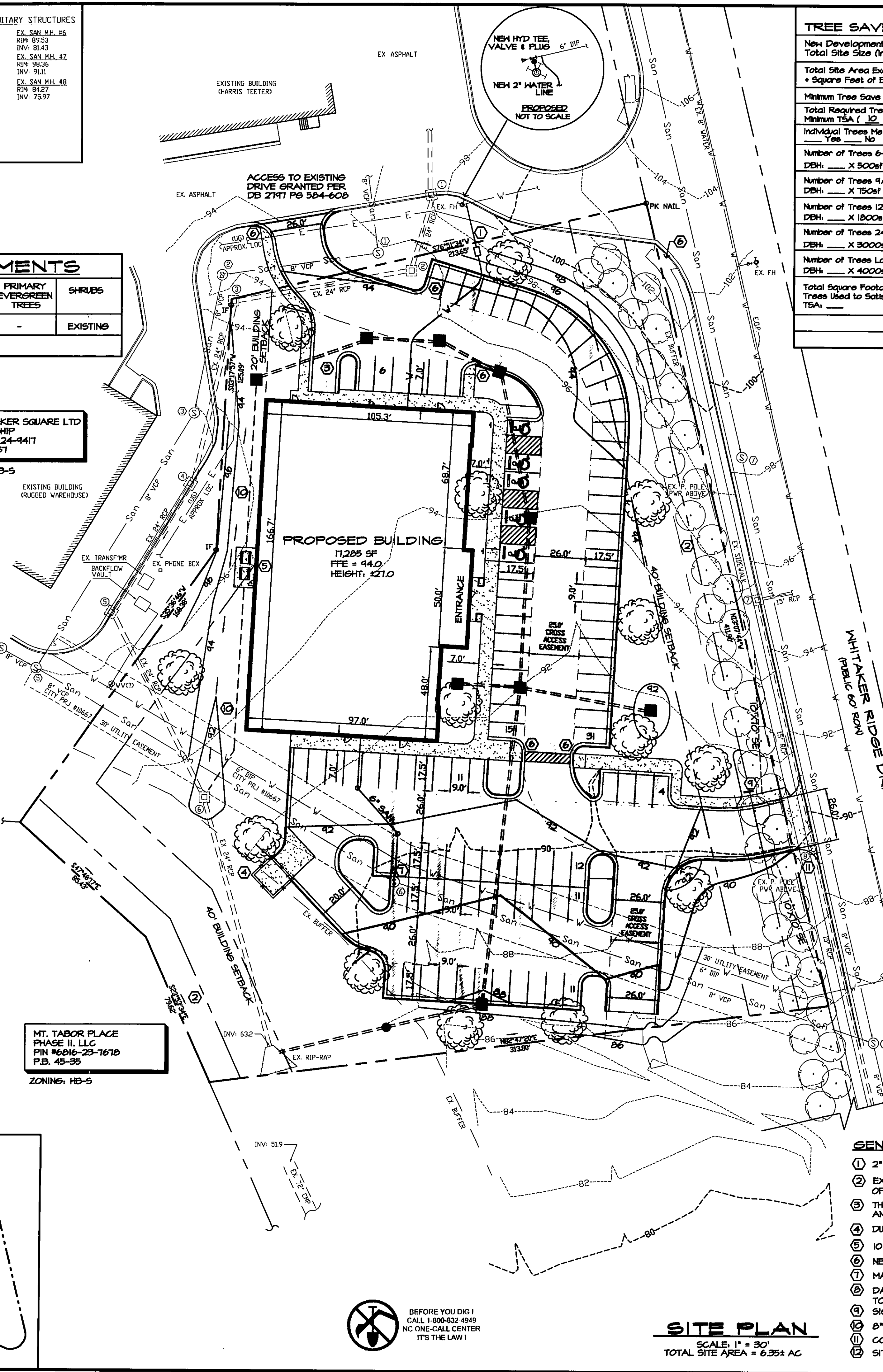
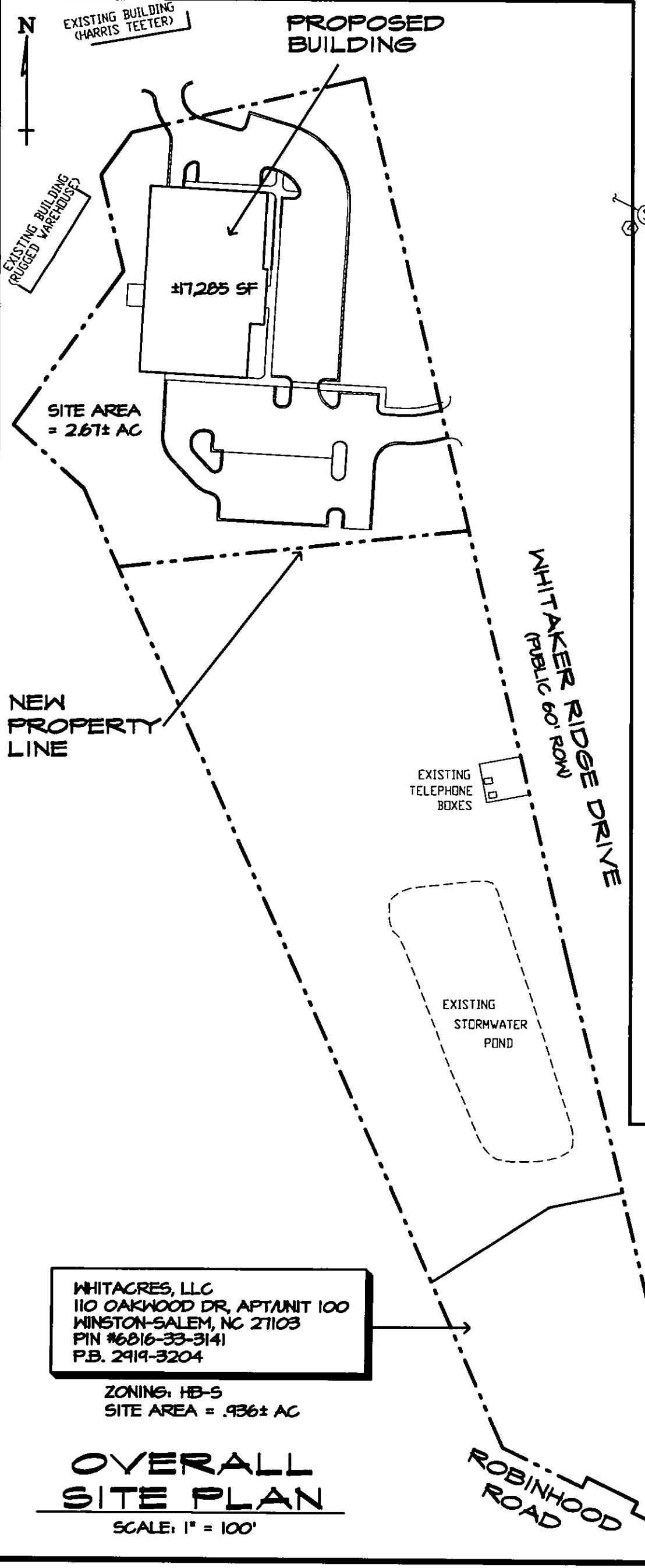
LANDSCAPE REQUIREMENTS

LOCATION	PLANTING YARD REQ'D	APPROX. LENGTH	DECIDUOUS/ EVERGREEN TREES	PRIMARY EVERGREEN TREES	SHRUBS
WHITAKER RD.	(EXISTING)	375'	EXISTING	-	EXISTING
PARKING LOT	15,000 SF	39,390 SF	0	-	-

DECIDUOUS OR BROADLEAF EVERGREEN TREE.
LARGE VARIETY
MIN 8' TALL AT PLANTING.
MIN. 2" @ 6" ABOVE GROUND LEVEL.

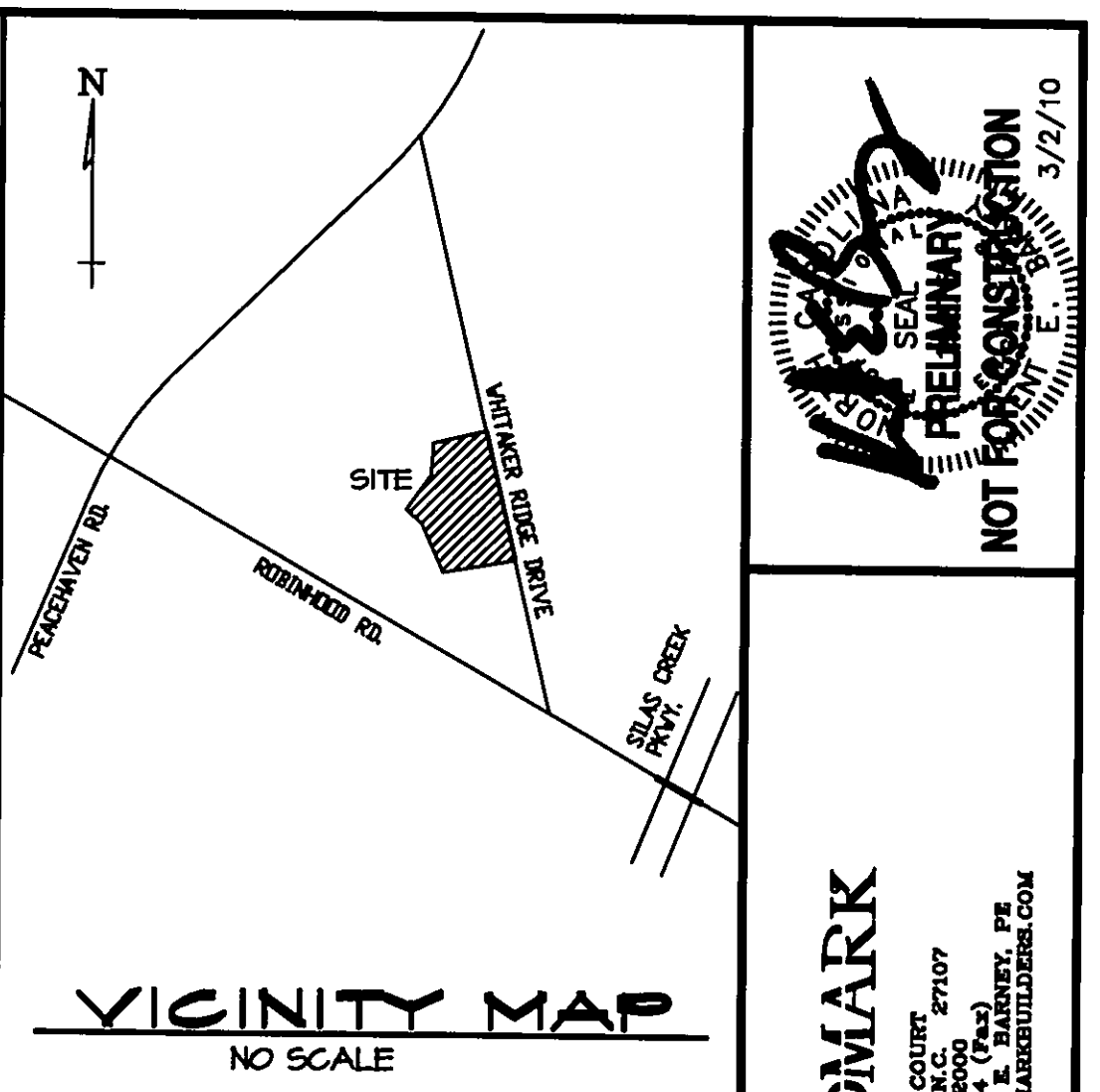
DIM-WHITAKER SQUARE LTD PARTNERSHIP
PIN #6816-24-9417
P.B. 453-157

ZONING: HB-5



TREE SAVE AREA SUMMARY CALCULATIONS

New Development: Total Site Size (In Square Feet): 116,202	Additions to Existing Development: Total Limits of Land Disturbance (In Square Feet): _____
Total Site Area Excluded From TSA: Square Feet of Proposed R.O.Ms. 0 + Square Feet of Existing Utility Easements 12,000 + Square Feet of Existing Water Bodies and Stormwater Ponds 0 = 12,000	
Minimum Tree Save Area Required: X 10% = 12%	
Total Required Tree Save Area (In square feet): Total Site Size or Total Limits of Land Disturbance - Excluded Area X Minimum TSA (12%) = 10,430	
Individual Trees Method Used: _____ Tree Stand Method Used: _____ Yes _____ No	
Number of Trees 6-4" DBH: _____ X 500sf = _____	List the Area of Each Tree Stand Being Saved: _____
Number of Trees 4.01-12" DBH: _____ X 750sf = _____	Describe Each Tree Stand (Age, Health, Species Mix): _____
Number of Trees 12.01-24" DBH: _____ X 1800sf = _____	
Number of Trees 24.01-36" DBH: _____ X 3000sf = _____	
Number of Trees Larger Than 36.01" DBH: _____ X 4000sf = _____	
Total Square Footage of Individual Trees Used to Satisfy Minimum TSA: _____	Total Square Footage of Tree Stands Being Saved to Satisfy Minimum TSA: _____
Total Square Footage of New Trees Planted to Satisfy Minimum TSA: 10,202	
Total Required TSA (In Square Feet): 10,430	
Total TSA provided (In Square Feet): 10,500	



REVIEW INFORMATION

TYPE OF REVIEW:
 special use rezoning
 Site Plan Amendment
 Special Use Permit
 Final Development Plan
 Preliminary Subdivision
 Planning Board Review

JURISDICTION
 City of Winston-Salem
 Forsyth County
 Village of Clemmons
 Town of Walkertown

PURPOSE STATEMENT: THE PURPOSE OF THIS REQUEST IS FOR THE FINAL PHASE OF A TWO PHASE REZONING.

ZONING

Existing Zoning: **HB-5**
Proposed Zoning: **HB-5**
Proposed Uses: **OFFICES**

(use udc terminology)

OFF-STREET PARKING

(if applicable)
Proposed use(s): **OFFICES**
Required parking: **58 SPACES 1/200 SF**
(more than one calculation may be needed)
Parking provided: **101**

OFF-STREET LOADING

(if applicable)
Loading/unloading spaces required: **1**
Loading/unloading spaces provided: **1**
Size: **15 ft. x 30 ft.**

BUFFER YARDS

Adjoining zoning: **HB-5, R94**
Type required: **EXISTING**
Width provided: **15 FT.**

WATERSHED CALCULATIONS

This section only needs to be completed for projects located within designated water supply watersheds. See reverse side for calculation legend.

WS-III Watersheds - Salem Lake, Abbotts Creek, and Lake Brandt
WS-IV Watersheds - Oak Hollow/Randeman Lake, Kernersville Lake, Yadin River and Dan River

INFRASTRUCTURE

Water	<input checked="" type="checkbox"/>	PUBLIC	<input checked="" type="checkbox"/>
Sewer	<input checked="" type="checkbox"/>	PRIVATE	<input checked="" type="checkbox"/>
Streets	<input checked="" type="checkbox"/>		

Linear feet of public streets: **N/A** ft.

SITE SIZE AND COVERAGES

Total acreage:	2.67	acres
Site coverages:		
building to land	14.86	%
pavement to land	38.71	%
open space	46.37	%
Building square footage:	17,285	sf.
Building height:	27	ft.

DENSITY CALCULATIONS

of units or lots: **N/A**
Density: **N/A** units/lots per acre
(note: if more than one type of residential product is proposed, provide the number of units & density broken down by type.)

PROPERTY INFORMATION

PIN #5: **6816-33-1143**
(FORTION OF)

WHITACRES, LLC
110 OAKWOOD DR, APT/UNIT 100
WINSTON-SALEM, NC 27103
PIN #6816-33-3141
P.B. 2419-3204
ZONING: R94

PREVIOUS BOCKET W-1887

- ### GENERAL KEY NOTES
- 2" WATER METER AND REDUCED PRESSURE BACKFLOW
 - EXISTING BUFFER AS PER CONDITIONS OF APPROVAL WHICH COMPRISE OF CREPE MYRTLES AND NEEDLE POINT HOLLIES.
 - THIS PROPERTY WILL NOT HAVE TRACTOR TRAILER TRAFFIC AND SHALL ONLY REQUIRE A 15' X 30' LOADING AREA.
 - DUMPSER PAD W/ 8' WOODEN FENCE AND DOUBLE GATE
 - 10' X 20' @ GRADE CONC. PATIO (VERIFY LOCATION AND SIZE)
 - NEW DETECTABLE WARNING PER ICC/ANSI A117.1-2003
 - MANHOLE TO BE OUTSIDE OF CURBING
 - DAMAGED SIDEWALK AND/OR CURBING SHALL BE REPLACED TO CITY OF WINSTON-SALEM SPECIFICATIONS
 - SIGNAGE (TBD) - REQUIRES SEPARATE PERMIT
 - 8" ROOF LEADER @ 2% MIN. WITH 6" DOWN SPOUT CONNECTIONS
 - CONVERT TO VALLEY GRATE INLET
 - SITE LIGHTING TO COMPLY WITH EX. CONDITIONS OF APPROVAL

LEGEND

EXISTING	PROPOSED	PROPERTY LINE
---	---	ZONING ORDINANCE SETBACK LINE
---	---	24" CURB & GUTTER
---	---	EXPOSED CONCRETE
---	---	6' + 2" ASPHALT PAVING
---	---	8' + 2" + 1" ASPHALT PAVING
---	---	GENERAL PLAN NOTES
---	---	10' CONTOUR
---	---	2' CONTOUR
---	---	SPOT ELEVATION
---	---	WOODS LINE
---	---	CHAIN LINK FENCE
---	---	TEMPORARY SEDIMENT FENCE
---	---	"CURLEX" BLANKET OR EQUAL
---	---	RIP RAP EROSION PROTECTION W/ FILTER FABRIC
---	---	SWALE OR WATERFLOW LINE
---	---	BERM
---	---	STORM SEWER
---	---	SANITARY SEWER
---	---	WATER LINE
---	---	GAS LINE
---	---	TELEPHONE LINE
---	---	UNDERGROUND ELECTRIC

WHITACRES, LLC
110 OAKWOOD DR, APT/UNIT 100
WINSTON-SALEM, NC 27103
PIN #6816-33-3141
P.B. 2419-3204
ZONING: HB-5
SITE AREA = .436± AC

OVERALL SITE PLAN
SCALE: 1" = 100'

BEFORE YOU DIG I
CALL 1-800-632-4949
NC ONE-CALL CENTER
IT'S THE LAW!

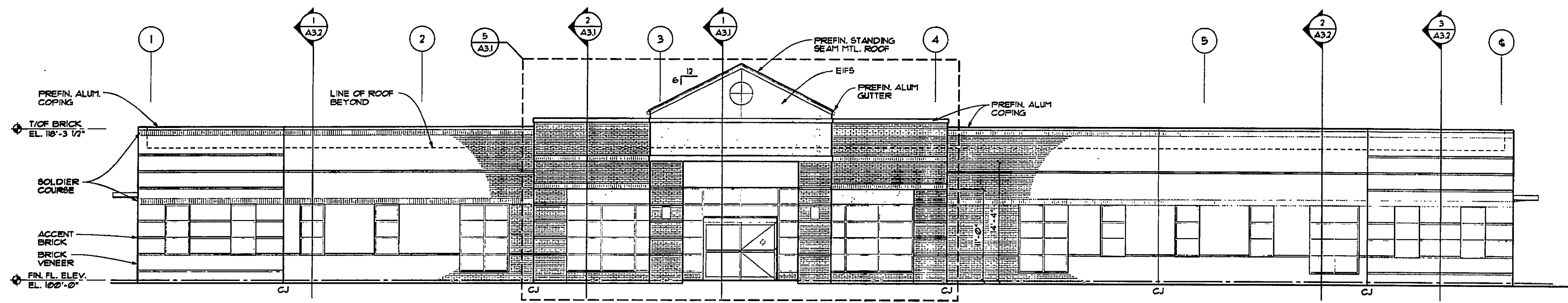
SITE PLAN
SCALE: 1" = 30'
TOTAL SITE AREA = 6.35± AC

LANDMARK
3650 TRAIL COURT
WINSTON-SALEM, NC 27107
PREPARED BY: KEVIN R. BAIRD, P.E.
SCALE: AS SHOWN
DATE: 8/20/18
FILE: W-1887-09-03-00-00-00
DRAWN BY: EBB
REVISIONS:
JOB NO: **909-09192**
SHEET:

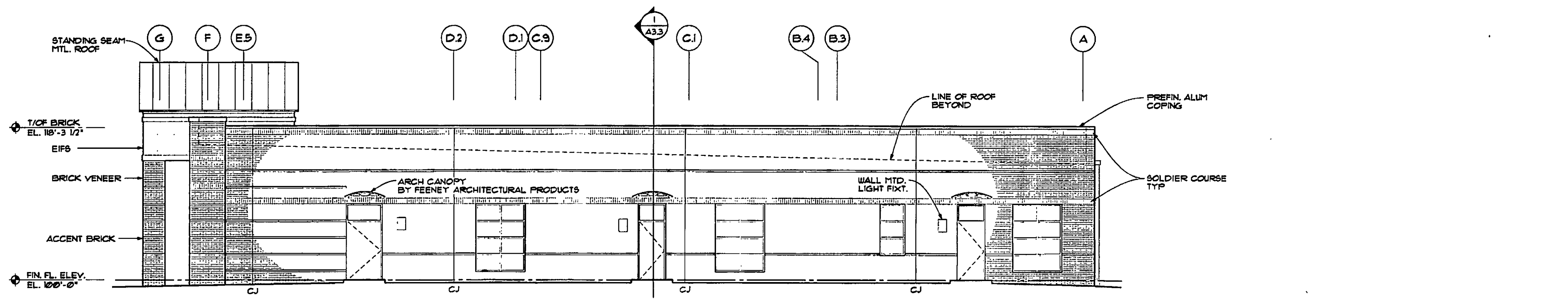
PROPOSED BUILDING FOR FORSYTH PEDIATRICS @ ROBINHOOD
1350 WHITAKER RIDGE DRIVE
WINSTON-SALEM, FORSYTH COUNTY, N.C.

PRELIMINARY PLAN - NOT FOR CONSTRUCTION
FINAL DEVELOPMENT PLAN

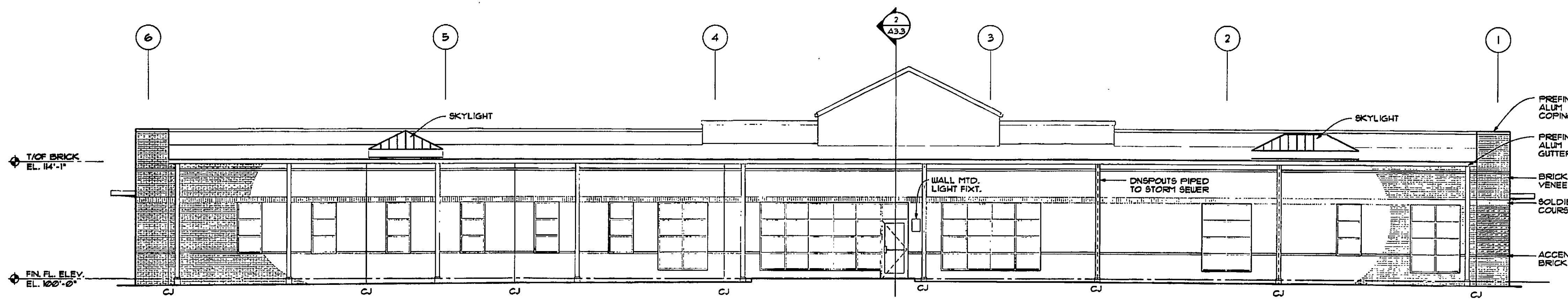
LEGEND W-1887 Revised FIG 1



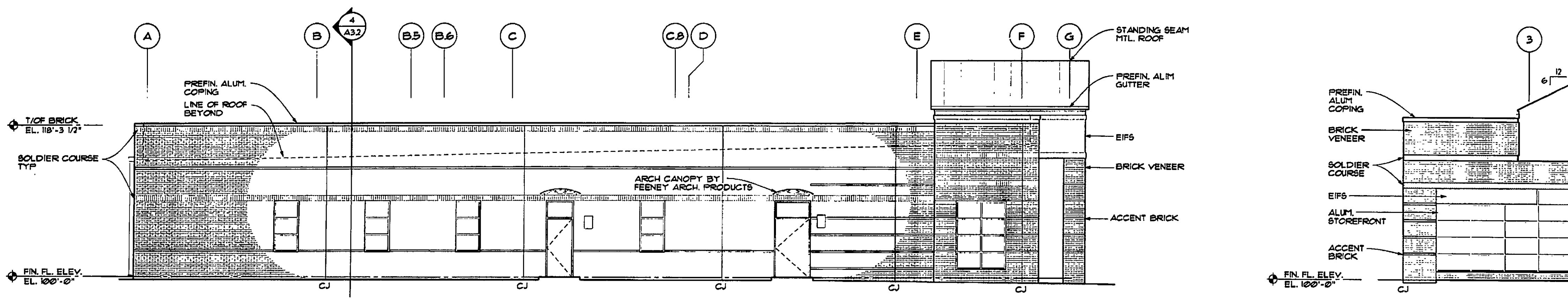
1 EAST ELEVATION
SCALE: 1/8"=1'-0"



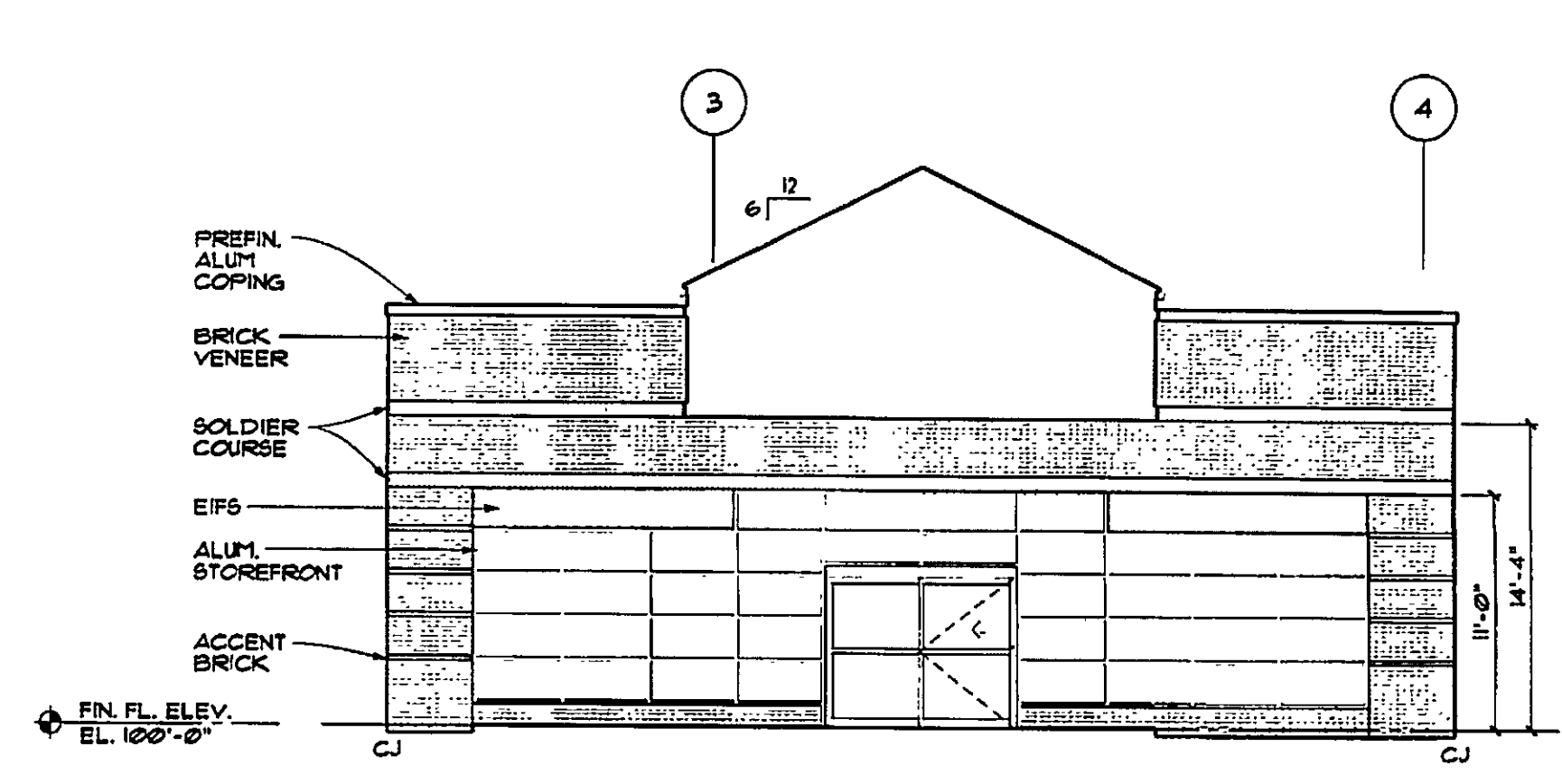
2 NORTH ELEVATION
SCALE: 1/8"=1'-0"



3 WEST ELEVATION
SCALE: 1/8"=1'-0"



4 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



5 PARTIAL ELEVATION @ ENTRY
SCALE: 1/8"=1'-0"

MASONRY NOTES

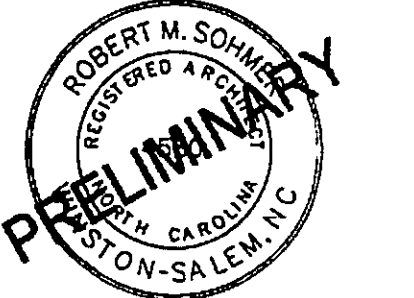
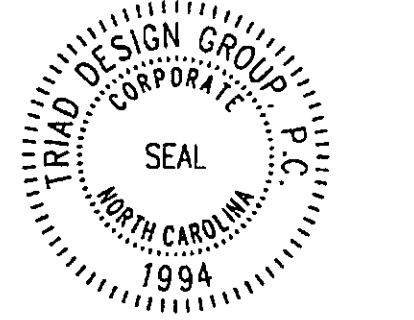
- LAY OUT WALLS IN ADVANCE FOR ACCURATE SPACINGS OF SURFACE BOND PATTERNS WITH UNIFORM JOINT WIDTHS AND FOR ACCURATE LOCATIONS OF OPENINGS, MOVEMENT-TYPE JOINTS, RETURNS, AND OFFSETS. AVOID THE USE OF LESS-THAN-HALF-SIZE UNITS AT CORNERS, JAMBS, AND WHERE POSSIBLE AT OTHER LOCATIONS.
- PROVIDE SOLID UNITS AT SOLDIER COURSE OUTSIDE CORNERS.
- CUT BRICK UNITS WITH MOTOR-DRIVEN SAWS TO PROVIDE CLEAN, SHARP UNCHIPPED EDGES. CUT UNITS AS REQ'D. TO PROVIDE CONTINUOUS PATTERN AND TO FIT ADJOINING CONSTRUCTION. USE FULL-SIZE UNITS WITHOUT CUTTING WHERE POSSIBLE.
- ALL MORTAR JOINTS (HEAD AND BED) ARE TO BE COMPLETELY FILLED BY PROPER "BUTTERING" OF MASONRY UNITS. "SLUSHING" OF JOINTS IS NOT ACCEPTABLE. JOINT SHALL BE STRUCK FLUSH AT INSIDE OF CAVITY/AIR SPACE AND PROPERLY "TOOLED" TO A CONCAVE PROFILE WHERE EXPOSED.
- KEEP CAVITIES, AIR SPACES CLEAN OF MORTAR DROPPINGS AND OTHER MATERIALS DURING CONSTRUCTION. STRIKE JOINTS FACING CAVITIES/AIR SPACES FLUSH.
- AT LINTELS, EXTEND FLASHING A MINIMUM OF 4 INCHES INTO BRICK AT EACH END. EXTEND FLASHING FROM EXTERIOR FACE OF BRICK THROUGH BED JOINT AND UP FACE OF SHEATHING AT LEAST 8 INCHES AND APPLICABLE AIR INFILTRATION BARRIER/BUILDING PAPER. AT HEADS AND SILLS, EXTEND FLASHING AS SPECIFIED ABOVE UNLESS OTHERWISE INDICATED, BUT TURN UP ENDS NOT LESS THAN 2 INCHES TO FORM A DAM.
- REMOVE AND REPLACE MASONRY UNITS THAT ARE LOOSE, CHIPPED, BROKEN, STAINED, OR OTHERWISE DAMAGED OR IF UNITS DO NOT MATCH ADJOINING UNITS AND SET IN FRESH MORTAR OR GROUT, POINTED TO ELIMINATE EVIDENCE OF REPAIR.
- DURING THE TOOLING OF JOINTS, ENLARGE ANY VOIDS OR HOLES, EXCEPT WEEP HOLES, AND COMPLETELY FILL WITH MORTAR. POINT-UP ALL JOINTS INCLUDING CORNERS, OPENINGS, AND ADJACENT CONSTRUCTION TO PROVIDE A NEAT, UNIFORM APPEARANCE, PREPARED FOR APPLICATION OF SEALANTS.
- FINAL CLEANING: AFTER MORTAR IS THOROUGHLY SET AND CURED, CLEAN EXPOSED MASONRY AS FOLLOWS:
 - REMOVE LARGE MORTAR PARTICLES BY HAND WITH WOODEN PADDLES AND NON-METALLIC SCRAPER HOES OR CHISELS
 - PROTECT NON-MASONRY SURFACES FROM CONTACT WITH CLEANER BY COVERING THEM WITH LIQUID STRIPPABLE MASKING AGENT, POLYETHYLENE FILM, OR WATERPROOF MASKING TAPE.
 - WET WALL SURFACES WITH WATER PRIOR TO APPLICATION OF CLEANERS; REMOVE CLEANERS PROMPTLY BY RINSING THOROUGHLY WITH CLEAR WATER.
 - CLEAN BRICK BY MEANS OF BUCKET AND BRUSH HAND-CLEANING METHOD DESCRIBED IN AIA "TECHNICAL NOTE NO. 20 REVISED 11" USING STANDARD-STRENGTH, PROPRIETARY GENERAL PURPOSE CLEANING COMPOUND DESIGNED FOR REMOVING MORTAR/GROUT, STAINS, EFFLORESCENCE, AND OTHER NEW CONSTRUCTION STAINS FROM NEW MASONRY SURFACES WITHOUT DISCOLORING OR DAMAGING MASONRY SURFACES. CLEANING COMPOUND SHALL BE EXPRESSLY APPROVED FOR INTENDED USE BY MANUFACTURER OF MASONRY UNITS BEING CLEANED.

EIFS NOTES

- EXTERIOR INSULATION AND FINISH SYSTEM (EIFS) IS TO BE CLASS "FB" AND DESIGNED AS A MOISTURE DRAINAGE SYSTEM TO DISCHARGE INCIDENTAL MOISTURE FROM WITHIN THE SYSTEM.
- SUBSTRATE MATERIAL AND INSTALLATION SHALL BE APPROVED BY EIFS SYSTEM MANUFACTURER AND APPLICATOR PRIOR TO INSTALLATION OF EIFS SYSTEM.
- ALL MATERIALS AND ALL ASPECTS OF EIFS SYSTEM INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- ALL FLASHING AND WATERPROOFING MATERIALS REQUIRED SHALL BE PROPERLY INSTALLED PRIOR TO INSTALLATION OF THE EIFS SYSTEM.
- LOCATION OF EXPANSION JOINTS SHALL BE AS INDICATED AND/OR AS A MINIMUM SHALL BE PLACED AT THE FOLLOWING LOCATIONS:
 - AT EXPANSION JOINTS IN THE SUBSTRATE SYSTEM.
 - AT BUILDING EXPANSION JOINTS.
 - AT FLOOR LINES IN WOOD FRAME CONSTRUCTION.
 - AT FLOOR LINES IN NON-WOOD FRAMED CONSTRUCTION WHERE SIGNIFICANT MOVEMENT IS EXPECTED.
 - WHERE EIFS SYSTEM ABUTS DISSIMILAR MATERIALS.
 - WHERE SUBSTRATE TYPE CHANGES.
 - IN CONTINUOUS ELEVATIONS AT INTERVALS NOT EXCEEDING 15 FEET.
 - WHERE SIGNIFICANT STRUCTURAL MOVEMENT OCCURS, SUCH AS CHANGES IN ROOF LINES, BUILDING SHAPE OR STRUCTURAL SYSTEM.
- PRIOR TO INSTALLATION OF THE EIFS SYSTEM, FLASHING TAPE OR OTHER WATER BARRIERS SHALL BE APPLIED AROUND ALL WALL OPENINGS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- EIFS SYSTEM SHALL BE HELD BACK FROM ADJOINING MATERIALS AROUND OPENINGS AND PENETRATIONS A MINIMUM OF 1/2" TO ALLOW SEALANT APPLICATION.
- SEALANTS SHALL BE COMPATIBLE WITH EIFS SYSTEM MATERIALS. BACKER RODS SHALL BE CLOSED CELL.
- EIFS SYSTEM SHALL BE TERMINATED A MINIMUM OF 8" ABOVE FINISHED GRADE.
- HIGH IMPACT MESHES SHALL BE INSTALLED AT GROUND LEVEL, HIGH TRAFFIC AREAS AND OTHER AREAS EXPOSED TO OR SUSCEPTIBLE TO IMPACT DAMAGE.

Triad Design Group

ARCHITECTURE
ENGINEERING
PLANNING
INTERIOR DESIGN
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Greensboro, NC 27407
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Fax 336-218-8010
www.triad-designgroup.com
NC ARCHITECTURE REG. NO. 5079
NC ENGINEERING LIC. NO. C-1108



NOT FOR CONSTRUCTION
LANDMARK
3330 TRIAD COURT
WINSTON-SALEM, NC 27107
336-784-2000

Forsyth Pediatrics
Whitaker Road
Winston-Salem, North Carolina

2/9/10 Issued For Pricing

No.	Date	Description

EXTERIOR ELEVATIONS

Date: FEBRUARY 9, 2010
Drawn By: LUM
Check By: RM
Job No.: 09-015
Sheet:

W-1887 Exhibit A
A2.1
ESTIMATE