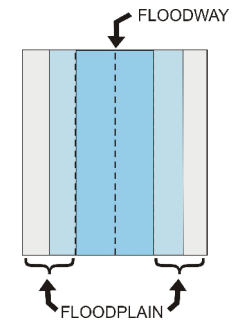


DOCKET #: W2842

PROPOSED ZONING:
Final Development Plan - Offices

EXISTING ZONING:
GO-S Two-Phase

PETITIONER:
The Skin Surgery Center
for property owned
by Vest Mill Ventures LLC



SCALE: 1" represents 400'

STAFF: King

GMA: 3

ACRES: 3.42

**NEAREST
BLDG:** 90' west

MAP(S): 606846



**CITY-COUNTY PLANNING BOARD DRAFT
STAFF REPORT**

PETITION INFORMATION			
Docket #	W-2842		
Staff	Aaron King		
Petitioner(s)	The Skin Surgery Center		
Owner(s)	Vest Mill Ventures, LLC		
Subject Property	PIN # 6804-98-9522		
Type of Request	Final Development Plan		
Proposal	The petitioner is requesting Final Development Plan approval of a GO-S Two-Phase site for the use Offices.		
Zoning District Purpose Statement	The GO District is primarily intended to accommodate high intensity office uses and supporting services. The district is established to provide locations for employment within Growth Management Areas 1 and 2, Metro Activity Centers, and Growth Management Area 3 with access to thoroughfares.		
GENERAL SITE INFORMATION			
Location	Northwest corner of Vest Mill Road and Professional Park Drive		
Jurisdiction	City of Winston-Salem		
Ward(s)	Southwest		
Site Acreage	± 3.42 acres		
Current Land Use	Undeveloped land		
Surrounding Property Zoning and Use	Direction	Zoning District	Use
	North	RM-18	Southbound Highway 421
	East	GO	Undeveloped land
	South	RS-9	SF home & undeveloped land
	West	GO-S	Southbound Highway 421 ramp
Physical Characteristics	The site slopes downward from Vest Mill Road towards the Highway 421 right-of-way.		
Proximity to Water and Sewer	The site will be served by public water and sewer.		
Stormwater/ Drainage	A condition for a stormwater study was included in the original rezoning.		
Watershed and Overlay Districts	The subject property is not located within a water supply watershed.		
Analysis of General Site Information	The site is suitable for the proposed improvements.		

SITE ACCESS AND TRANSPORTATION INFORMATION						
Street Name	Classification	Frontage	ADT Count	Capacity/LOS D		
Vest Mill Road	Local Street	193'	NA	NA		
Professional Park Drive	Local Street	517'	NA	NA		
Proposed Access Point(s)	The site plan proposes two access points onto Professional Park Drive, which is consistent with the first phase rezoning site plan.					
Trip Generation - Existing/Proposed	<u>Proposed Trip Generation</u> 31,050 / 1,000 x 11.57 (Single Tenant Office Trip Rate) = 359 Trips per Day					
Sidewalks	Sidewalks currently exist along the frontage on Vest Mill Road.					
Transit	No					
Traffic Impact Study (TIS)	Not required					
Analysis of Site Access and Transportation Information	The proposed site plan limits access to the recently constructed Professional Park Drive and provides sidewalk along the site's frontage on Vest Mill Road. Staff has recommended a lateral sidewalk connection into the site.					
RELEVANT ZONING HISTORIES						
Case	Request	Decision & Date	Direction from Site	Acreage	Recommendation	
					Staff	CCPB
W-2842	RS-9 to GO-S Two Phase	Approved 6/5/06	Includes subject property	3.83	Approval	Approval
SITE PLAN COMPLIANCE WITH UDO REQUIREMENTS						
Building Square Footage	Square Footage		Placement on Site			
	31,050 sf		Northern and western portions of site			
Parking	Required	Proposed		Layout		
	104 spaces	121 spaces		90° head-in		
Building Height	Maximum			Proposed		
	60'			1-2 stories		
Impervious Coverage	Maximum			Proposed		
	80%			58.48%		
UDO Sections Relevant to Subject Request	<ul style="list-style-type: none"> Section 2-1.3(D) GO District 					
Complies with Chapter B, Article VII, Section 7-5.3	(A) Legacy policies:		Yes			
	(B) Environmental Ord.		Yes			
	(C) Subdivision Regulations		NA			

Analysis of Site Plan Compliance with UDO Requirements	The proposed site plan meets UDO requirements.
CONCLUSIONS TO ASSIST WITH RECOMMENDATION	
Positive Aspects of Proposal	Negative Aspects of Proposal
The request is for Final Development Plan approval and meets all UDO requirements.	
SITE-SPECIFIC RECOMMENDED CONDITIONS OF APPROVAL	
<p>The following proposed conditions are from interdepartmental review comments and are proposed in order to meet codes or established standards, or to reduce negative off-site impacts.</p> <ul style="list-style-type: none"> • <u>PRIOR TO THE ISSUANCE OF GRADING PERMITS:</u> <ol style="list-style-type: none"> a. Developer shall have a stormwater management study submitted for review by the Public Works Department of the City of Winston-Salem. If required, an engineered stormwater management plan shall be submitted and approved by the Public Works Department. Relocation or installation of any stormwater treatment device into any buffer areas, vegetation designated to remain, or close proximity to adjacent residentially zoned land shall require a Staff Change approval at minimum, and may require a Site Plan Amendment. b. Developer shall pay the Stratford Road impact fee. • <u>OTHER REQUIREMENTS:</u> <ol style="list-style-type: none"> a. Total maximum building square footage for this site shall not exceed 60,000 sf, as per the first phase site plan conditions. 	

STAFF RECOMMENDATION: APPROVAL

NOTE: These are **staff comments** only; final recommendations on projects are made by the City-County Planning Board, with final decisions being made by the appropriate Elected Body, who may approve, deny, table or request modification for any project. **THE APPLICANT OR REPRESENTATIVE IS STRONGLY ENCOURAGED TO ATTEND THE PUBLIC HEARINGS WHERE THE CASE WILL BE CONSIDERED BY THE PLANNING BOARD AND THE ELECTED BODY.**

PUBLIC HEARING

FOR: None

AGAINST: None

WORK SESSION

MOTION: Paul Mullican moved approval of the Final Development Plan, certified that the site plan meets all code requirements and recommends staff conditions.

SECOND: Wesley Curtis

VOTE:

FOR: Wesley Curtis, Arnold King, Clarence Lambe, Darryl Little, Barry Lyons, Lynne Mitchell, Paul Mullican

AGAINST: None

EXCUSED: None

A. Paul Norby, FAICP
Director of Planning

RM-18

BUSINESS 40 / HIGHWAY 421

LOADING SPACE (12' x 25')
REDUCED SIZE TO BE APPROVED
BY DIRECTOR OF INSPECTIONS

PROPOSED TERRACE

DROP - OFF LANE

DUMPSTER

FUTURE PARKING

FUTURE BUILDING
10,050 SF +/-
1 STORY

RS-9

PROPOSED TREE SAVE AREA
TREE STAND = 2,800 SF +/-

PROPOSED
RETAINING WALL

PROPOSED BUILDING
19,000 SF +/-
2 STORY

COMPACT SPACES (6)

DUMPSTER

LOADING SPACE (12' x 25')
REDUCED SIZE TO BE APPROVED
BY DIRECTOR OF INSPECTIONS

EX. FIRE HYDRANT
TO BE RELOCATED

PROPOSED SAN.
SEWER LINE

PROPOSED WATER LINE

PROJECT SIGNAGE
WITH LANDSCAPING

GO

PROPOSED STORM
SEWER LINES (TYP.)

DEVELOPMENT
SIGNAGE

RS-9

PIN# 6814-08-0202.00
West Mill Ventures LLC
PO Box 24097
Winston-Salem, NC 27114
Taxable Deed Bk - Not Listed
Block Lot 3901 130A

PIN# 6814-08-6838.00
West Mill Ventures LLC
PO Box 24097
Winston-Salem, NC 27114
Taxable Deed Bk - Not Listed
Block Lot 3901 130C

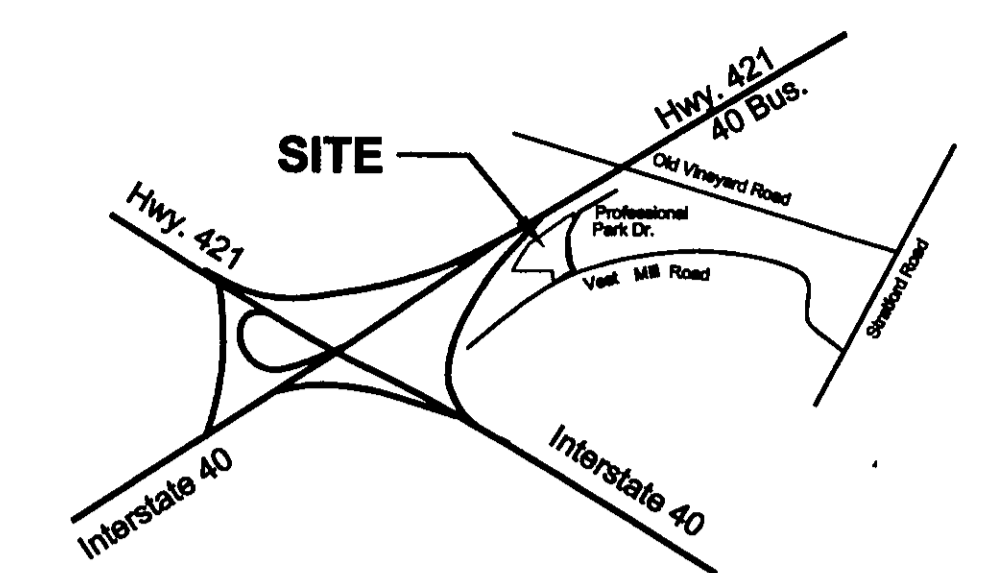
PIN# 6814-08-3205.00
Kenneth Schowald
301 Beechcroft Ct
Winston-Salem, NC 27104
Taxable Deed Bk-Pg 2801-3117
Block Lot 3901 023A

PIN# 6814-08-1278.00
Kenneth Schowald
301 Beechcroft Ct
Winston-Salem, NC 27104
Taxable Deed Bk-Pg 2801-3117
Block Lot 3901 018K

PIN# 6804-07-0911.00
Elizabeth Ann Burke
PO Box 537
Midland, MD 21542
Taxable Deed Bk - Not Listed
Block Lot 3901 018C

PIN# 6804-08-7350.00
Clifford B. Murphy
4027 Vest Mill Rd
Winston-Salem, NC 27103
Taxable Deed Bk-Pg 738-298
Block Lot 3901 017B

LOCATION MAP: NOT TO SCALE



SITE DATA

PURPOSE STATEMENT:
TO OBTAIN FINAL DEVELOPMENT PLAN APPROVAL

JURISDICTION:
CITY OF WINSTON-SALEM, NC

ZONING:
EXISTING ZONING: GO-S

ALLOWED USES:
FRATERNITY OR SORORITY / BANKING AND FINANCIAL SERVICES / FUNERAL HOME / HEALTH SERVICES, MISCELLANEOUS / OFFICES / NON-STORE RETAILER / SERVICES, BUSINESS A / SERVICES, PERSONAL / RECREATION FACILITY, PUBLIC / ACADEMIC MEDICAL CENTER / ADULT DAY CARE CENTER / CHILD CARE (DROP-IN) / CHILD CARE (SICK CHILDREN) / CHILD CARE INSTITUTION / CHILD DAY CARE CENTER / CLUB OR LODGE / CHURCH OR RELIGIOUS INSTITUTION, COMMUNITY / CHURCH OR RELIGIOUS INSTITUTION, NEIGHBORHOOD / COLLEGE OR UNIVERSITY / GOVERNMENT OFFICES / HOSPICE AND PALLIATIVE CARE / HOSPITAL OR HEALTH CENTER / INSTITUTIONAL VOCATIONAL TRAINING FACILITY / LIBRARY, PUBLIC / MUSEUM OR ART GALLERY / NEIGHBORHOOD ORGANIZATION / NURSING CARE INSTITUTION / POLICE OR FIRE STATION / POST OFFICE / SCHOOL, VOCATIONAL OR PROFESSIONAL / BROADCAST STUDIO / HELISTOP / PARK AND SHUTTLE LOT / TRANSMISSION TOWER / UTILITIES

SITE ACREAGES:
EXISTING PARCEL ACREAGE: 3.42 AC. +/- (3.4177 PER SURVEY)

WATERSHED:
PROJECT SITE IS NOT LOCATED IN A WATER SUPPLY WATERSHED

BUILDING NOTES:
MAX. HEIGHT = 60' (ADJ. TO RS ZONING) / UNLIMITED

IMPERVIOUS CALCULATIONS:
MAX. IMPERVIOUS ALLOWED: 80% (GMA3) = 2.73 AC. +/-
BUILDING TO LAND: 0.59 AC. +/- = 17.25 %
PAVEMENT TO LAND: 1.43 AC. +/- = 41.81 %
OPEN SPACE: 1.40 AC. +/- = 40.94 %
PARCEL TOTAL: 3.42 AC. +/- = 100.0 %
TOTAL IMPERVIOUS: 2.02 AC. +/- = 59.06 %

BUILDING & PARKING CALCULATIONS:

PHASE 1:
BUILDING SIZE: 19,000 SF +/-
PARKING REQ'D (@1/300 SF): 63 SPACES
PARKING PROVIDED: 77 SPACES
COMPACT ALLOWED (25%): 19 SPACES
COMPACT INCLUDED: 6 SPACES

PHASE 2 (FUTURE):
BUILDING SIZE: 10,050 SF +/-
PARKING REQ'D (@1/300 SF): 34 SPACES
PARKING PROVIDED: 44 SPACES

TOTAL PARKING REQ'D: 97 SPACES
TOTAL PARKING PROVIDED: 121 SPACES

SKIN SURGERY CENTER

PETITIONERS:

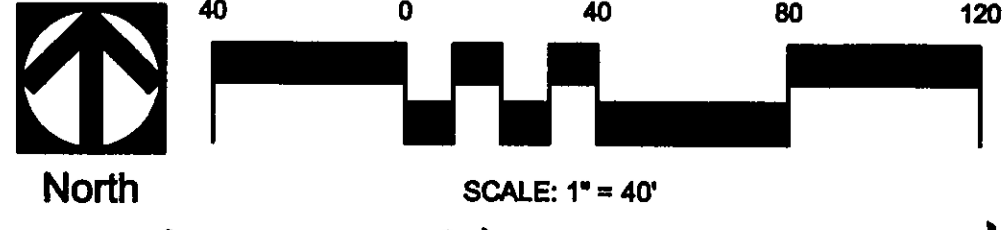
SKIN SURGERY CENTER
125 SUNNYNOLL COURT, SUITE 100
WINSTON-SALEM, NC 27106
P: (336) 724-2434
F: (336) 724-6123
E: dcoombs@skinsurgerycenter.net

OWNERS:

PIN# 6804-08-9522.00
VEST MILL VENTURES, LLC
PO BOX 24097
WINSTON-SALEM, NC 27114
BLOCK LOT 3901 417B
P: (336) 785-2070
F: (336) 659-7945
E: kdm@ymcolnc.com

**LANDSCAPE ARCHITECTS/
LAND PLANNERS/
CIVIL ENGINEERS:**

Stimmel Associates, PA
Landscape Architecture
Civil Engineering
Land Planning
601 N. Trade Street Suite 200
Winston Salem, NC 27101-2916
P: 336.723.1067
F: 336.723.1069
E: ldickey@stimmelpa.com



Stimmel Associates, PA
Landscape Architecture
Civil Engineering
Land Planning
601 N. Trade Street Suite 200
Winston Salem, NC 27101-2916
P: 336.723.1067 F: 336.723.1069

SEALS:
PRELIMINARY DRAWING
CORPORATE SEAL
NOT APPROVED FOR CONSTRUCTION

PROJECT:

SKIN SURGERY CENTER
Winston - Salem, NC

CLIENT:
SKIN SURGERY CENTER
125 SUNNYNOLL COURT, SUITE 100
WINSTON-SALEM, NC 27106
P: (336) 724-2434
F: (336) 724-6123

DRAWN: LD, SCO
DATE: 03/08/10

REVISIONS:
04/01/10: REV. PER CITY COMMENTS

JOB. NO: 10-012
SHEET TITLE:

FINAL DEVELOPMENT PLAN

SCALE: 1" = 40'
SHEET NO.:

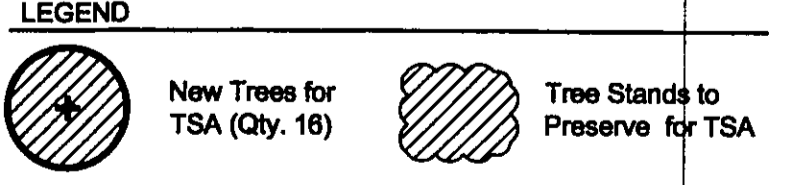
FDP-1

© STIMMEL ASSOCIATES, P.A.

TREE SAVE AREA

New Developments:	Additional to Existing Development:
Total Site Size (In Square Feet): 158,873 SF +/-	Total Limits of Land Disturbance (In Square Feet):
Total Site Area Excluded From TSA: Square Feet of Proposed R.O.W. & Square Feet of Existing Water Bodies and Stormwater Ponds: 8,463 SF +/-	Total Square Footage of Existing Utility Assessments: 8,622 SF +/-
Minimum Tree Save Area Required: X, 10% = 12%	Minimum TSA (10%) = 15,205 SF +/-
Total Required Tree Save Area (In square feet):	Total Site Size or Total Limits of Land Disturbance: 158,873 SF +/-; Excluded Area: 8,463 SF +/-
Minimum TSA (10%) = 15,205 SF +/-	

Individual Tree Method Used:	Tree Stand Method Used:	New Trees Used For TSA Credit:
Tree: X, No	Tree Stand Method Used: X, Yes, No	Credit: X, Yes, No
Number of Trees 8"-12" DBH: X, 150	List the Area of Each Tree Stand Being Saved: 3,800 SF +/-	Number of Large Variety Trees Planned: 32 X 750sf = 23,200 SF
Number of Trees 12"-17" DBH: X, 750	Describe Each Tree Stand (Age, Health, Species Mix)	
Number of Trees 17"-24" DBH: X, 1800	Address: 100-10-30 (Water, Good Health, Significant Area, Safety, Access to DBH of 8" +/-)	
Number of Trees 24"-36" DBH: X, 2000		
Number of Trees Larger Than 36" DBH: X, 4000		
Total Square Footage of Individual Trees Used to Satisfy Minimum TSA: 2,800 SF +/-	Total Square Footage of Tree Stands Being Saved to Satisfy Minimum TSA: 2,800 SF +/-	Total Square Footage of New Trees Planned to Satisfy Minimum TSA: 23,200 SF +/-
Total Required TSA (In Square Feet): 15,205 SF +/-	Total TSA provided (In Square Feet): 15,205 SF +/-	



PRELIMINARY UTILITY LAYOUT LEGEND

Ex. Catch Basin	■	Ex. 10' SW, Util. & Neg. Access Easmt.	— UE —
Ex. Slab Top Inlet	□	Ex. 40'x40' Sign Easement	— E —
Ex. Storm Sewer	— SD —	Ex. Telephone Easement	— T —
Ex. San. Sewer Manhole	⊙	Ex. As-Built Waterline	— W —
Ex. Clean Out	—	Ex. Woods Line	— W —
Ex. Sanitary Sewer	— SS —	Ex. Deciduous Tree	⊙
Ex. Utility Pole	—	Ex. Coniferous Tree	⊙
Ex. Aerial Utility Line	— AU —	Proposed San. Sewer Line	— S —
Ex. Guy Wire	—	Proposed San. Sewer Manhole	⊙
Water Valve	⊙	Proposed Water Line	— W —
Ex. Water Meter	⊙	Proposed Fire Hydrant	⊙
Ex. Fire Hydrant	⊙	Proposed Storm Sewer	— SS —
Ex. Fence	— X —	Proposed Curb Inlet	■
10'x70' Sight Easement	— SE —		

SITE DATA CONTINUED

INFRASTRUCTURE:
ROADS: PUBLIC
WATER: PRIVATE
SEWER: PRIVATE

BUFFERYARDS:
ADJOINING ZONING: RS9
TYPE REQUIRED: 15' MIN. TYPE III BUFFERYARD
TYPE PROVIDED: 15' MIN. TYPE III BUFFERYARD
ADJOINING ZONING: GO
TYPE REQUIRED: NONE REQUIRED

BOUNDARY & TOPOGRAPHICAL INFORMATION:
BOUNDARY AND TOPOGRAPHIC INFORMATION FROM SURVEY DATED FEBRUARY 2, 2010 & PREPARED BY: BRADY SURVEYING COMPANY, PA.
2900 BETHESDA PLACE, SUITE 601-B
WINSTON-SALEM, NC 27103
(336) 780-2716